



City of Auburn, Maine
Planning & Permitting Department
60 Court Street | Auburn, Maine 04210
www.auburnmaine.gov | [207.333.6601](tel:207.333.6601)

PLANNING BOARD AGENDA
October 14, 2025 – 6:00 p.m.
City Council Chambers, 60 Court Street

1. ROLL CALL

2. MINUTES: Acceptance of the September 9, 2025 meeting minutes.

3. PUBLIC HEARING: None

4. PUBLIC COMMENT

5. MISCELLANEOUS

- a) Update: 65 Mount Auburn Avenue: Chick-fil-A Restaurant. Pedestrian access and site improvements.
- b) Comprehensive Plan Update.
- c) Initiate an amendment to Chapter 60 of Auburn's Zoning Ordinance to allow for the development of lots under 20,000 square feet in specific instances.
- d) November 11th meeting/holiday conflict. Proposed to reschedule to November 10 or 12.

6. ADJOURNMENT

Auburn Planning Board meetings can be viewed live on the City of Auburn YouTube channel (<https://www.youtube.com/c/CityofAuburnMaine>), and on Great Falls Television (Spectrum Cable Channel 11). Following live broadcasts, Planning Board meetings are rebroadcast at 7:00AM, noon, and 7:00PM on Tuesdays on GFTV and are available anytime on our YouTube channel.



PLANNING BOARD MINUTES - DRAFT September 9, 2025

1. **ROLL CALL:** Ed Bearor (Associate Member), Riley Bergeron, Tim DeRoche, Darren Finnegan, Bob Hayes, Maureen Hopkins, and Paul Jacques (Acting Chair)

Absent: Bilal Hussein (Associate Member), Stacey LeBlanc (Chair), and Ngengele Adlophe (Student Representative)

Staff members present: David Hediger (*Planning Director*)

Paul Jacques elevated Ed Bearor to full voting member.

2. **MINUTES:** Acceptance of the June 18 and August 19, 2025 meeting minutes.

Motion made by Bob Hayes and seconded by Ed Bearor to approve the June 18 minutes:
Vote 7-0 Motion Carries

Motion made by Tim DeRoche seconded by Bob Hayes to approve the August 19 minutes:
Vote 7-0 Motion Carries

3. PUBLIC HEARING

- a. *ITEM WITHDRAWN/REMOVED: PUBLIC HEARING/ SITE PLAN and SUBDIVISION REVIEW: 7-9 Fern Street (PID 239-113 and 239-112): Application by Dirigo Architectural Engineering, LLC on behalf of Jim Wu/Wu Lake Street Property LLC for the construction of a 5-unit condominium development with access from the shared driveway to the former Lake Street school. This property is located in the Traditional Neighborhood (T-4.2B) district and will be reviewed under Chapter 60, Article XVI, Division 2 – Site Plan Review and Division 4 – Subdivision.

The application was withdrawn by the applicant due to some negative sentiment toward the project from the public/neighborhood that they want to account for so the project will be considered a positive development for the City and stakeholders.

- b. PUBLIC HEARING/ SITE PLAN and SUBDIVISION REVIEW: 180 Danville Corner Road (PID 122-005): Application by Terradyn Consultants, LLC on behalf of Timothy Millett to convert the existing structure into a four-unit multifamily dwelling. This property is located in the General Business (GB) zoning district and will be reviewed under Chapter 60, Article XVI, Division 2 – Site Plan Review and Division 4 – Subdivision.

David gave a staff report. The building formerly housed the Spurwink School eight-bed care unit and the applicant has a purchase & sales agreement to acquire the property. They plan to do interior renovations only. Since it was previously used for commercial and three more dwelling units are being added, it is considered a subdivision and needs Board approval. Due to the change of use from commercial to residential and the number of bedrooms, they will need to increase the septic tank size and will be installing a 1,500 gallon septic tank.

Jim Coubron of Terradyn Consultants reviewed the proposed plan and when asked where this project is in relation to the previously proposed Danville project development from Mr. Millett, he said it is to the southeast to it.

**Motion made by Darren Finnegan and seconded by Bob Hayes to open public comment:
Vote: 7-0 Motion Carries**

Steven Beal of 575 Johnson Rd – asked if this parcel is going to be co-joined with the abutting parcel to the southwest closer to Washington Street in any form of common ownership or common development activity.

**Motion made by Bob Hayes and seconded by Darren Finnegan to close public comment:
Vote: 7-0 Motion Carries**

Jim said that the parcel could potentially be co-joined with the abutting parcel. If that were to be the case, the existing structure would be part of that greater concept.

Motion made by Riley Bergeron seconded by Ed Bearor that the proposal meets the requirements of Sections 60-1277 and 60-1359 and to approve the application and site plan submitted by Terradyn Consultants, LLC on behalf of Timothy Millett to convert the existing structure at 180 Danville Corner Road (PID 122-005) into a four-unit multifamily dwelling. The proposed project has met the standards pursuant to Chapter 60, Article XVI, Division 2 – Site Plan Review and Division 4 – Subdivision. Vote 7-0 Motion carries.

- c. REQUEST TO POSTPONE PUBLIC HEARING/ SITE PLAN and SUBDIVISION REVIEW: 530 and 538 Poland Road (PID 188-025, 188-026, and 188-027) – Application by Terradyn Consultants, LLC on behalf of Jonah Chappell and Kyle Romick for a four-lot subdivision and the construction of two multifamily structures with four units each. The property is located in the Traditional Neighborhood (T-4.2B) and Industrial (I) districts and will be reviewed under Chapter 60, Article XVI, Division 2 – Site Plan Review and Division 4 – Subdivision.

David gave a staff report stating that initially Terradyn Consultant submitted an application for a 4-lot subdivision for the construction of two multi-family structures with four units each, however the applicant is interested in revising the layout to potentially add a third building. Since a public hearing notice was done, the applicant requested the public hearing be held to get some input from the Board and neighbors and that the Board postpone the application until further notice.

Jeff Amos of Terradyn Consultants reviewed the site plan stating the new layout features 3 4-unit buildings and a new private way that provides access to all three new buildings as well as an existing house on the property. One criterion it does not meet is the lot width as it relates to the frontage and they will request a waiver of those standards. The stormwater run-off will be routed to the rear of the property, they are proposing a 6-foot high stockade fence on the entire edge of the residential portion, and will be moving the dumpster based on discussions with neighbors.

Motion made by Tim DeRoche seconded by Darren Finnegan to open public comment: Vote: 7-0 Motion Carries

Kelly Levesque of 5 Rockhill Avenue - expressed concerns regarding how they are going to fit a road and units on that property, drainage going on to her property, the height of the fence being reduced from 8 feet to 6 feet, lighting, and where the dumpster was going to be placed.

Cameron Bryant of 9 Rock Hill Avenue - expressed concern about where the drainage will go.

Steve Levesque of 5 Rock Hill Avenue - expressed concern regarding the number of buildings being proposed.

Motion made by Tim DeRoche seconded by Bob Hayes to close public comment: Vote: 7-0 Motion Carries

The Board expressed concerns regarding the maintenance and durability of stockade fences, and stormwater and drainage affecting abutters negatively.

Motion made by Ed Bearor and seconded by Bob Hayes to postpone further review of the proposed four-lot subdivision at 530 and 538 Poland Road. Vote 7-0 Motion carries

4. PUBLIC COMMENT

Evan Cyr of 122 Granite Street – asked the Board to consider developing a policy of requiring purchase and sale agreements and continuing obligation agreements be included with requests to the Board when land purchased from the City comes before the Board due to it being potentially pertinent information on decisions being made. He suggested that applications being submitted to the Board be complete when submitted to avoid issues that could cause delays.

Lincey Viel of 10 Fern Street – expressed concern regarding the lack of information and change of plans on the Fern Street project. She feels it will change the atmosphere of the neighborhood. She was also concerned with how long it is taking for the playground to re-open.

William Baxter of 27 Holly St – expressed concern regarding the proposed 5-unit Fern Street project stating that the original plans discussed by the Citizens Committee was a childcare center.

5. MISCELLANEOUS:

Riley gave a brief update on the Comprehensive Plan Committee.

When asked for an update on Chick-Fil-A, David said he reached out to them last week and they said they are making progress and hope to have an update in the future.

When asked about the status of Conex boxes, David said it is on the list to be addressed.

6. ADJOURNMENT

Motion made by Riley Bergeron and seconded by Tim DeRoche to adjourn at 7:00 p.m.

Vote: 7-0 Motion Carries

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Auburn, Maine 04210 207.333.6601

To: Auburn Planning Board
From: David Hediger, Director of Planning
Re: 65 Mount Auburn Avenue: Chick-fil-A Restaurant Update on pedestrian access and site improvements.
Date: October 9, 2025

On July 8, 2025, the Planning Board approved an application for the development of a new $\pm 5,200$ -square-foot fast-food restaurant with a drive-thru, site improvements, and infrastructure. The subject property is located at 65 Mount Auburn Avenue (Tax Map 380-006-001) within the General Business (GB) zoning district. The project was approved pursuant to Chapter 60, Article XVI, Division 2, Site Plan Review; Article IV, Subdivision; and Article IV of the City Code. The Board approved the project with the following condition:

Prior to the issuance of a building permit, the applicant shall coordinate with the Auburn City Engineer to finalize the location and design of a pedestrian connection to the Turner Street sidewalk network or Hobby Lobby. If no suitable connection can be identified, the project shall return to the Planning Board with a memo from the City Engineer outlining their findings.

Since that approval, staff have met with project representatives, and the applicant has been working on a revision that provides pedestrian connections to both Turner Street and Hobby Lobby. The revised plan results in the following changes:

Building Size & Location

- The new restaurant design features a slightly larger building ($\pm 5,394$ sq. ft. vs. $\pm 5,189$ sq. ft.) in a longer layout, now centered on the site with the drive-thru wrapping around it. Indoor seating increases by two, for a total of 92 seats.

Drive-Thru

- The total drive-thru length increases from ± 790 feet to ± 850 feet, allowing for approximately three additional queued cars.

Pedestrian Access

- The connection to the Hobby Lobby sidewalk remains, and a new accessible ramp and sidewalk connection to Turner Street will be added. This includes landings, handrails, and crosswalks leading safely to the restaurant.

Parking

- On-site parking shifts to the south of the drive-thru, with the drive aisle narrowed from 30 feet to 25 feet to promote traffic calming. The new layout adds 16 parking spaces, and Chick-fil-A will also have access to approximately 80 additional spaces in the adjacent parking lot under its lease agreement.

Utilities & Drainage

- Utility connections (gas, water, electric, and sewer) remain largely the same. Stormwater will continue to flow to the southeast drainage system. The new design results in a reduction of approximately 4,200 sq. ft. of impervious surface compared to the previous layout.

Landscaping & Lighting

- The reduced impervious area allows for additional landscaping. One fewer light pole will be installed, and updated landscape and lighting plans are included in the revised design.

Planning Board Action

Staff wanted to provide an update on these changes given the amount of discussion that occurred when the project was initially presented. City Planning and Engineering staff have reviewed the revisions, have no concerns, and are pleased to see the pedestrian connection and the decrease in impervious area.

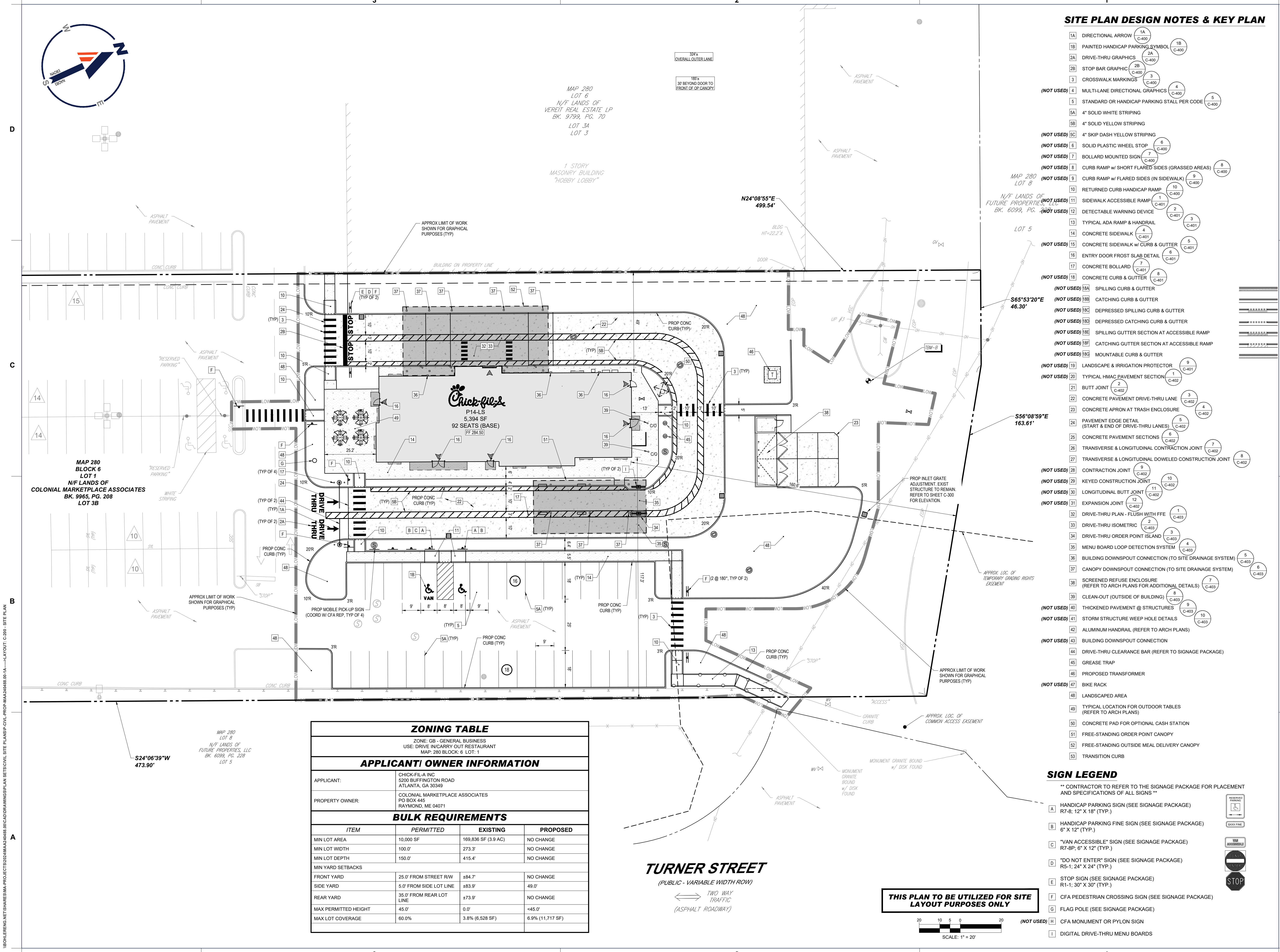
No action is required by the Board, as the condition of approval has been met and the project may move forward.

The Board is also reminded that the ordinance allows staff to approve projects when the scope of work has been reduced or when there is limited expansion, extension, or enlargement of uses or buildings, pursuant to Sec. 60-45 – Site Plan/Special Exception Review, which states:

(a) Projects requiring site plan review shall be reviewed by the Planning Board in accordance with Divisions 2 and 3 of Article XVI and the standards and criteria contained therein. No project requiring site plan review shall be expanded, extended, or enlarged so as to occupy additional land area greater than ten percent of the original area or one-half acre (whichever is less), or by the construction of a structure or an addition of more than ten percent additional floor space, unless approval has been secured from the Planning Board. A reduction in the scope of a project, except for land area, does not need to be reviewed by the Planning Board provided that an amended plan is submitted to the Planning Department to confirm that all other land use provisions are satisfied.

(b) The expansion, extension, or enlargement of uses or buildings that are less than the thresholds described in subsection (a) shall be reviewed and approved by the Planning Department using the criteria of Divisions 2 and 3 of Article XVI.

The intent of this item to provide the Board with an update. The Board's condition has been met, and the revisions fall within the criteria of Sec. 60-45 allowing staff approval. Therefore, no further action by the Planning Board is required.



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

BOHLER
50 WASHINGTON ST., SUITE 2000
WESTBOROUGH, MA 01581
Phone: (508) 480-9800
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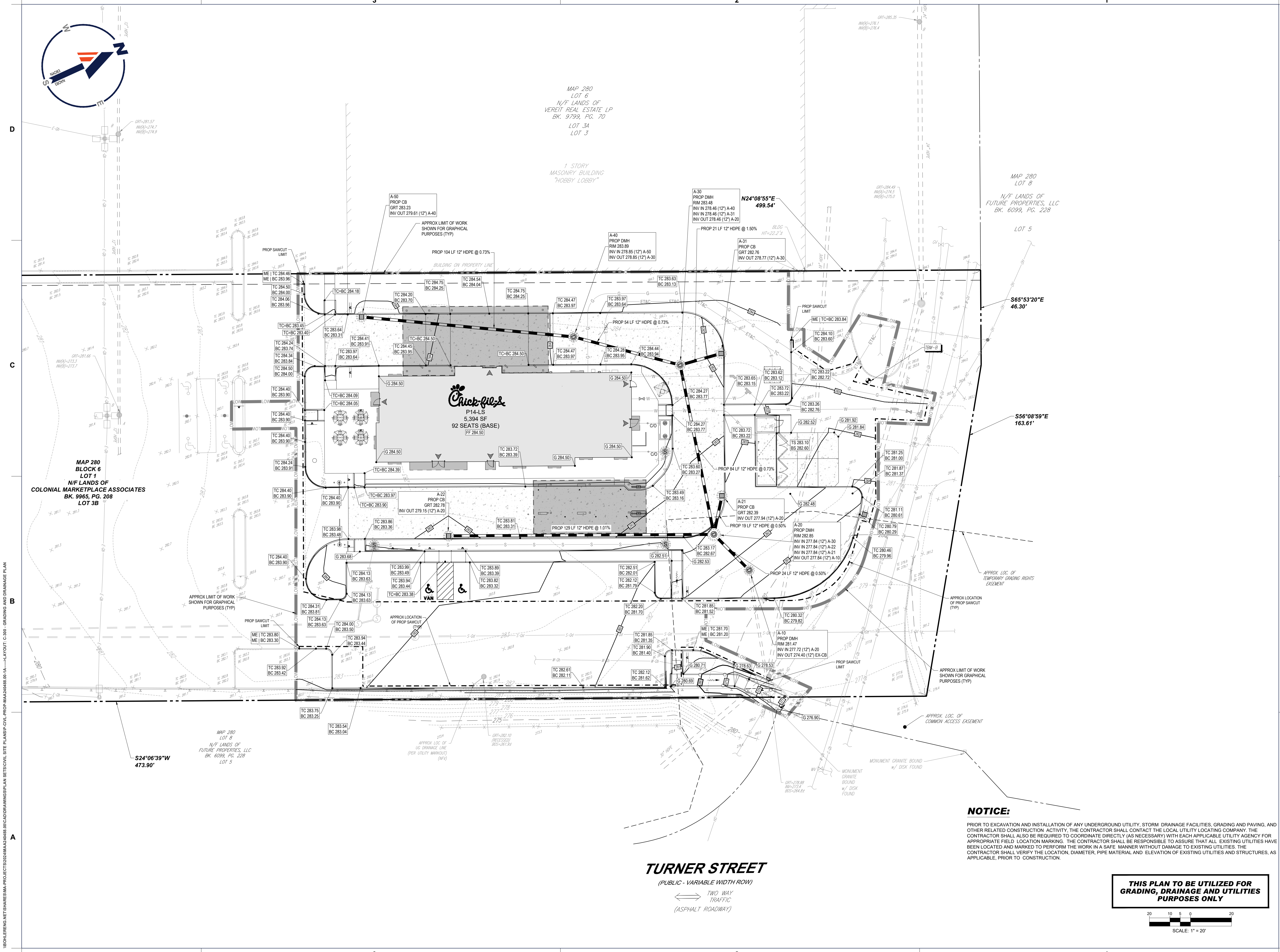
CHICK-FIL-A
AUBURN (ME)
65 MOUNT AUBURN AVE
AUBURN, ME, 04210

FSR#06109
BUILDING TYPE / SIZE: P14-SE-BASE
RELEASE: 24.11

REVISION SCHEDULE
NO. DATE DESCRIPTION
14 10/6/25 PB COMMENTS

ISSUED FOR PERMIT
CONSULTANT PROJECT # MAA240488.00
PRINTED FOR PERMIT
DATE 03/31/2025
DRAWN BY AEH
CHECKED BY JNF
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SHEET
SITE PLAN
SHEET NUMBER

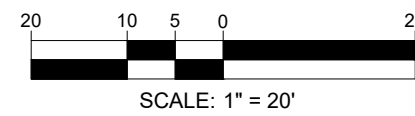
C-200



NOTICE:

PRIOR TO EXCAVATION AND INSTALLATION OF ANY UNDERGROUND UTILITY, STORM DRAINAGE FACILITIES, GRADING AND PAVING, AND OTHER RELATED CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY LOCATING COMPANY. THE CONTRACTOR SHALL ALSO BE REQUIRED TO COORDINATE DIRECTLY (AS NECESSARY) WITH EACH APPLICABLE UTILITY AGENCY FOR APPROPRIATE FIELD LOCATION MARKING. THE CONTRACTOR SHALL BE RESPONSIBLE TO ASSURE THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED TO PERFORM THE WORK IN A SAFE MANNER WITHOUT DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION, DIAMETER, PIPE MATERIAL AND ELEVATION OF EXISTING UTILITIES AND STRUCTURES, AS APPLICABLE, PRIOR TO CONSTRUCTION.

**THIS PLAN TO BE UTILIZED FOR
GRADING, DRAINAGE AND UTILITIES
PURPOSES ONLY**



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

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50 WASHINGTON ST., SUITE 2000
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**CHICK-FIL-A
AUBURN (ME)**
65 MOUNT AUBURN AVE
AUBURN, ME, 04210

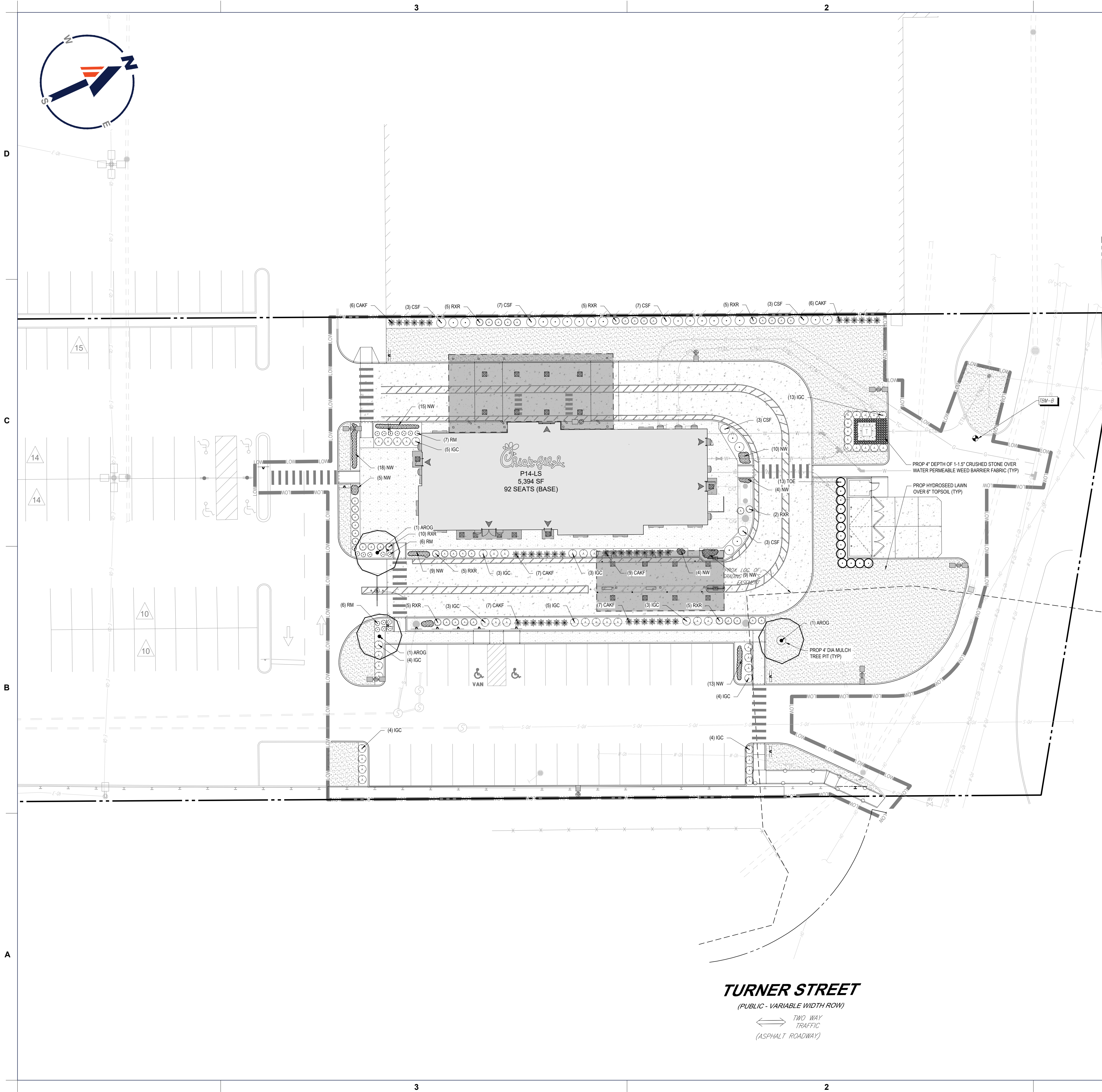
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REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
14	10/6/25	PB COMMENTS

CONSULTANT PROJECT #		MAA240488.00
PRINTED FOR		PERMIT
DATE		03/31/2025
DRAWN BY		AEH
CHECKED BY		JNF
SHEET		GRADING AND DRAINAGE PLAN
SHEET NUMBER		C-3.0

ISSUED FOR PERMIT

P:\3254\MAA240488.00\CAD\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\SP-CIVIL-LSCP-MAA240488.00-1A---LAYOUT- L-101 LSCP



PLANT SCHEDULE					
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
CANOPY TREES					
AROG	3	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2.5"-3" CAL.	B&B
EVERGREEN TREES					
TOE	13	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	6'-8'	B&B
SHRUBS					
CSF	26	CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE RED TWIG DOGWOOD	24-36"	CONTAINER
IGC	51	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	24-30"	CONTAINER
RM	19	RHOODODENDRON KURUME 'MOTHER'S DAY'	MOTHER'S DAY KURUME AZALEA	18-24"	CONTAINER
RXR	42	ROSA X 'RADRAZZ'	KNOCK OUT SHRUB ROSE	18-24"	CONTAINER
GRASSES					
CAKF	42	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL.	CONTAINER
PERENNIALS					
NW	93	NEPETA X 'WALKER'S LOW'	WALKER'S LOW CATMINT	1 GAL.	CONTAINER

HATCH LEGEND	
HATCH	DESCRIPTION
	PROP HYDROSEED LAWN

GENERAL LANDSCAPE NOTES:

- THESE LANDSCAPE PLANS ARE TO BE READ IN CONJUNCTION WITH THE LANDSCAPE SPECIFICATIONS, AND ASSOCIATED DETAILS FOUND ON THE LANDSCAPE DETAILS SHEET. THE GENERAL NOTES, FOUND ON THE NOTES PAGE OF THIS PLAN SET, ARE CONSIDERED PART OF LANDSCAPE PLANS. THE CONTRACTOR MUST REFER TO, AND FULLY COMPLY WITH, ALL NOTES, SPECIFICATIONS AND DETAILS DESCRIBED HEREIN, ON THE LANDSCAPE PLANS AND IN THE LANDSCAPE DETAILS SHEET.
- ALL DISTURBED UNPAVED AREAS, EXCLUDING PLANTING BEDS, ARE TO BE INSTALLED AS LAWN IN ACCORDANCE WITH "MATERIALS" SECTION OF THE LANDSCAPE SPECIFICATIONS, UNLESS OTHERWISE SPECIFICALLY STATED ON THIS PLAN.
- SHRUBS PLANTED ALONG HEAD-IN PARKING STALLS SHALL BE INSTALLED TO ALLOW A CLEARANCE OF TWO FEET FROM FACE OF CURB TO ALLOW FOR BUMPER OVERHANG.
- PLANT MATERIAL SUBSTITUTIONS MUST BE FORMALLY SUBMITTED TO BOHLER AND THE MUNICIPALITY'S ENGINEERING AND LANDSCAPE CONSULTANTS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- WITHOUT EXCEPTION, WEED BARRIER FABRIC SHALL NOT BE INSTALLED WITHIN ANY STORMWATER FACILITY, INCLUDING RAINGARDENS, INFILTRATION TRENCHES, VEGETATIVE SWALES AND STORMWATER BASINS.
- IF IRRIGATION IS REQUIRED BY THE OWNER OR APPROVING MUNICIPALITY, THE CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM MEETING THE SPECIFICATIONS OF THE CHOSEN PRODUCTS MANUFACTURER. THE IRRIGATION DESIGN SHALL ACCOMMODATE LAWN AND BED AREAS EACH UNDER SEPARATE ZONES TO MAXIMIZE WATER EFFICIENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ANY PERMITS REQUIRED FOR THE INSTALLATION OF AN IRRIGATION SYSTEM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL PROJECT MAINTENANCE IS TURNED OVER TO THE PROPERTY OWNER OR OTHER RESPONSIBLE PARTY. SUCH RESPONSIBILITIES INCLUDE, BUT ARE NOT LIMITED TO, THE CARE, WATERING, AND MAINTENANCE OF ALL PLANT MATERIAL, LAWN MOWING, AND SEASONAL MAINTENANCE.



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NEW HAMPSHIRE No. 109
CONNECTICUT No. 1369
MAINE No. 4248
VERMONT No. 01107
OHIO No. 25043

CHICK-FIL-A
AUBURN (ME)

65 MOUNT AUBURN AVE
AUBURN, ME, 04210

FSR#06109

BUILDING TYPE / SIZE: P14-SE-BASE
RELEASE: 24.11

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
1a	10/6/25	PB COMMENTS

CONSULTANT PROJECT # MAA240488.00

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DATE 03/31/2025

DRAWN BY AEH

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SHEET

LANDSCAPE
PLAN

SHEET NUMBER

THIS PLAN TO BE UTILIZED
FOR LANDSCAPE
PURPOSES ONLY



TURNER STREET

(PUBLIC - VARIABLE WIDTH ROW)

TWO WAY
TRAFFIC
(ASPHALT ROADWAY)

ISSUED FOR PERMIT

L-101



LUMINAIRE SCHEDULE						
LABEL	QTY	MOUNTING HEIGHT	ARRANGEMENT	LUM. LUMENS	LLF	DESCRIPTION
C1	16	10'-0" AFG	SINGLE	10457	0.900	LSI SCOTTSDALE LED CANOPY LUMINAIRE, ZERO UP-LIGHT (CRUS-SC-LW-30)
OA	10	8'-0" AFF*	SINGLE	630	0.900	PROGRESS LIGHTING LED WALL SCONCE, (P5675-31-30K)
P2-S	1	25'-0" AFG	SINGLE	11013	0.900	COOPER LUMARK PREVAIL DISCRETE LED AREA LUMINAIRE, TYPE 2U, WITH HOUSE-SIDE SHIELD, ZERO UP-LIGHT (PRV-PA2A-740-U-T2U-HSS)
P4W-S	1	25'-0" AFG	SINGLE	11268	0.900	COOPER LUMARK PREVAIL DISCRETE LED AREA LUMINAIRE, TYPE 4W, WITH HOUSE-SIDE SHIELD, ZERO UP-LIGHT (PRV-PA2A-740-U-T4W-HSS)
Z1	7	9'-0" AFF*	SINGLE	875	0.900	COOPER HALO SMX4 EDGELESS SURFACE MOUNT LED DOWNLIGHT LUMINAIRE, ZERO UP-LIGHT (SMX4RLSFS20W-800LM-3000K)
P4W-D	3	25'-0" AFG	BACK-BACK	15560	0.900	COOPER LUMARK PREVAIL DISCRETE LED AREA LUMINAIRE, TYPE 4W, ZERO UP-LIGHT (PRV-PA2A-740-U-T4W)
P2-D	2	25'-0" AFG	BACK-BACK	15785	0.900	COOPER LUMARK PREVAIL DISCRETE LED AREA LUMINAIRE, TYPE 2U, ZERO UP-LIGHT (PRV-PA2A-740-U-T2U)

*REFER TO ARCHITECTURAL PLANS FOR FINAL MOUNTING HEIGHTS AND LOCATIONS

CALCULATION SUMMARY							
LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVGMIN	MAXMIN
ALL POINTS	ILLUMINANCE	FC	0.69	40.6	0.0	N/A	N/A
DRIVE THRU	ILLUMINANCE	FC	2.70	7.9	1.0	2.70	7.90
ENTRANCE DRIVE SOUTH	ILLUMINANCE	FC	2.23	4.3	0.9	2.48	4.78
ENTRANCE DRIVE NORTH	ILLUMINANCE	FC	3.22	5.9	1.2	2.68	4.92
PARKING COURT	ILLUMINANCE	FC	1.90	5.0	1.0	1.90	5.00

CITY OF AUBURN, MAINE LIGHTING REQUIREMENTS

SECTION	REQUIREMENT	PROPOSED
ARTICLE V. OFF-STREET PARKING AND LOADING	\$60-607. GENERAL PROVISIONS AND DESIGN STANDARDS. (11) EXTERIOR LIGHTING PROVIDED IN ANY PARKING OR LOADING AREA SHALL BE ARRANGED AND SHIELDED SO THAT IT IS DEFLECTED AWAY FROM ADJACENT PROPERTIES USED FOR RESIDENTIAL PURPOSES AND FROM ANY PUBLIC HIGHWAY.	PROVIDED

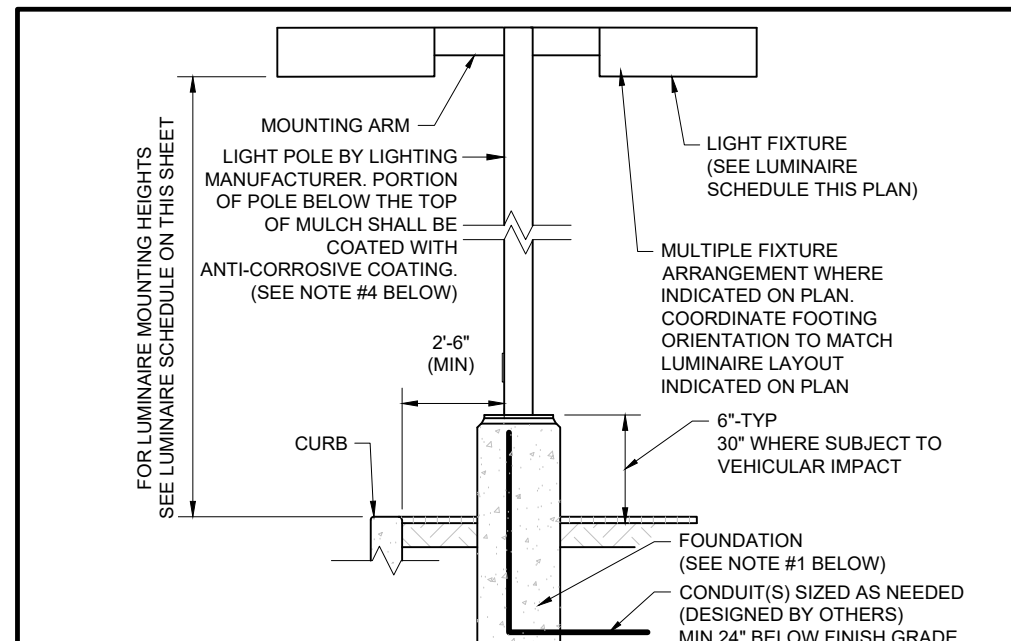
MAINE LIGHTING NOTES

(Rev. 6/2023)

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
- THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S). ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHT LOSS FACTORS (LLF) DEPICTED IN THE LUMINAIRE SCHEDULE ON THIS PLAN ARE BASED ON DATA PROVIDED BY THE MANUFACTURER FOLLOWING IES LM-80-08 TESTING. THE LIGHT LEVELS DEPICTED ON THIS PLAN WERE CALCULATED BASED ON THE LLF LISTED IN THE LUMINAIRE SCHEDULE.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOT-CANDELS (FC).
- THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND RE-LAMPING (IF NECESSARY) ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNERS.
- WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER AND ARE, CONSEQUENTLY, APPROXIMATIONS ONLY. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
- THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR LIGHTING CONTRACTOR, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. LIGHT POLE BASES ARE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.
- CONTRACTOR MUST BRING TO DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES OR OTHER STRUCTURE(S) TO THE PROFESSIONAL OF RECORD'S ATTENTION, PRIOR TO THE START OF CONSTRUCTION.
- IT IS THE LIGHTING CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARCHITECT OR OWNER REGARDING ANY AND ALL POWER SOURCE(S), AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND/OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.
- THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES, REGULATIONS AND THE LIKE.
- THE CONTRACTOR MUST VERIFY THAT INSTALLATION OF LIGHTING FIXTURES COMPLIES WITH THE REQUIREMENTS FOR SEPARATION FROM OVERHEAD ELECTRICAL WIRES PER STATE REGULATIONS.
- WHEN A BANK ATM IS INCLUDED IN THE PLAN, THE LIGHTING DESIGN REPRESENTS BOHLER'S UNDERSTANDING AND INTERPRETATION OF THE REGULATORY LIGHTING LEVELS INTENDED BY PUBLISHED STANDARDS.
- UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.

GENERAL LIGHTING NOTES:

- THE GENERAL NOTES, FOUND ON THE NOTES PAGE OF THIS PLAN SET, MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE ELECTRICAL CONTRACTOR MUST BECOME FAMILIAR WITH, REFER TO AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY.
- THE ELECTRICAL CONTRACTOR MUST FULLY COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THIS LIGHTING PLAN, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL APPLICABLE AGENCY AND GOVERNMENTAL REGULATIONS. THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S). ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, MAINTENANCE, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDELS (FC).
- THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, POWER SYSTEM, CONDUITS, WIRING, CONTROLS, AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S, ELECTRICAL ENGINEER'S AND/OR ELECTRICAL CONTRACTOR'S RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE (NEC) AND ALL APPLICABLE BUILDING AND LOCAL ELECTRICAL CODES.
- THE ELECTRICAL CONTRACTOR MUST BRING IMMEDIATELY, IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURE(S) TO THE PROFESSIONAL OF RECORD'S ATTENTION, PRIOR TO THE START OF CONSTRUCTION.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL LIGHTING IS INSTALLED PER THIS LIGHTING PLAN, INCLUDING THE LOCATION, ORIENTATION, SHIELDING, AND/OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS DEPICTED ON THIS PLAN. EXISTING POLES AND FOUNDATIONS ARE NOT TO BE REUSED.
- UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS. THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND OTHER MAINTENANCE SPECIFIED BY THE MANUFACTURER. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN.
- THE LIGHT LOSS FACTORS (LLF) DEPICTED IN THE LUMINAIRE SCHEDULE ON THIS PLAN ARE BASED ON DATA PROVIDED BY THE MANUFACTURER FOLLOWING IES LM-80-21 TESTING (OR MOST RECENT EDITION). THE LIGHT LEVELS DEPICTED ON THIS PLAN WERE CALCULATED BASED ON THE LLF LISTED IN THE LUMINAIRE SCHEDULE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO BOHLER FOR REVIEW AND APPROVAL. SUBSTITUTION REQUESTS MUST BE ACCOMPANIED BY A HORIZONTAL PHOTOMETRIC STUDY DEMONSTRATING THAT THE LUMINAIRE(S) IN QUESTION WILL MEET THE DESIGN INTENT OF THIS PLAN. SUBSTITUTION REQUESTS WITHOUT A PHOTOMETRIC STUDY WILL BE REJECTED.
- LIGHT POLE FOUNDATIONS ARE SHOWN ON THE PLAN IN THE INTENDED LOCATION BASED ON THE LIGHTING CALCULATIONS, UNLESS OTHERWISE NOTED. LIGHT SYMBOLS ARE SHOWN LARGER THAN ACTUAL SIZE, HOWEVER FOUNDATION SIZE IS SHOWN AT ACTUAL SIZE.



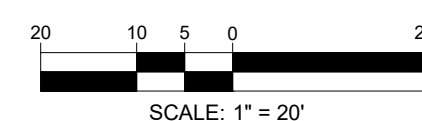
- NOTES:
- THIS DETAIL IS FOR GRAPHICAL PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A FOUNDATION DESIGN PREPARED BY A QUALIFIED STRUCTURAL ENGINEER CONSIDERING LIGHTING MANUFACTURER REQUIREMENTS, LOCAL WIND LOADS AND SITE SPECIFIC SOIL PARAMETERS.
 - SOME SITE CONDITIONS AND/OR LOCATIONS MAY REQUIRE VIBRATION DAMPENING MEASURES AS DETERMINED BY A STRUCTURAL ENGINEER.
 - THE STRUCTURAL ENGINEER SHALL BE NOTIFIED OF THE INTENT TO MOUNT ANYTHING TO THE POLE, ASIDE FROM THE LIGHT FIXTURES, INCLUDING BUT NOT LIMITED TO CAMERAS, BANNERS, FLAGS, SIGNAGE, ETC. AS IT WILL IMPACT THE POLE AND FOUNDATION DESIGN.
 - CONTRACTOR TO ADJUST LENGTH OF POLE DEPENDENT ON FOUNDATION HEIGHT IN DIFFERENT LOCATIONS, AS NECESSARY TO SET LUMINAIRES AT MOUNTING HEIGHT INDICATED IN LIGHTING SCHEDULE. MOUNTING HEIGHT IS TO BE MEASURED FROM GROUND SURFACE ELEVATION ADJACENT TO POLE FOUNDATION TO LUMINAIRE.

AREA LIGHT

NOT TO SCALE

(NE-1020101 - 04/2025)

**THIS PLAN TO BE UTILIZED
FOR LIGHTING PURPOSES
ONLY**



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

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50 WASHINGTON ST., SUITE 2000
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CHICK-FIL-A
AUBURN (ME)
65 MOUNT AUBURN AVE
AUBURN, ME, 04210

FSR#06109
BUILDING TYPE / SIZE: P14-SE-BASE
RELEASE: 24.11

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
1a	10/6/25	PB COMMENTS

CONSULTANT PROJECT # MAA240488.00
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SHEET

**LIGHTING
PLAN**

SHEET NUMBER

L-201

Project	Catalog #	Type
Prepared by	Notes	Date



Lumark

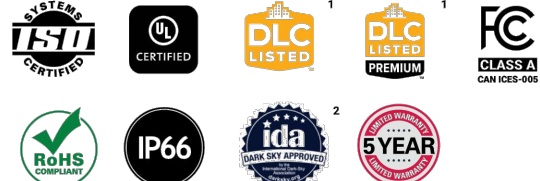
Prevail Discrete LED

Area / Site Luminaire

Product Features



Product Certifications



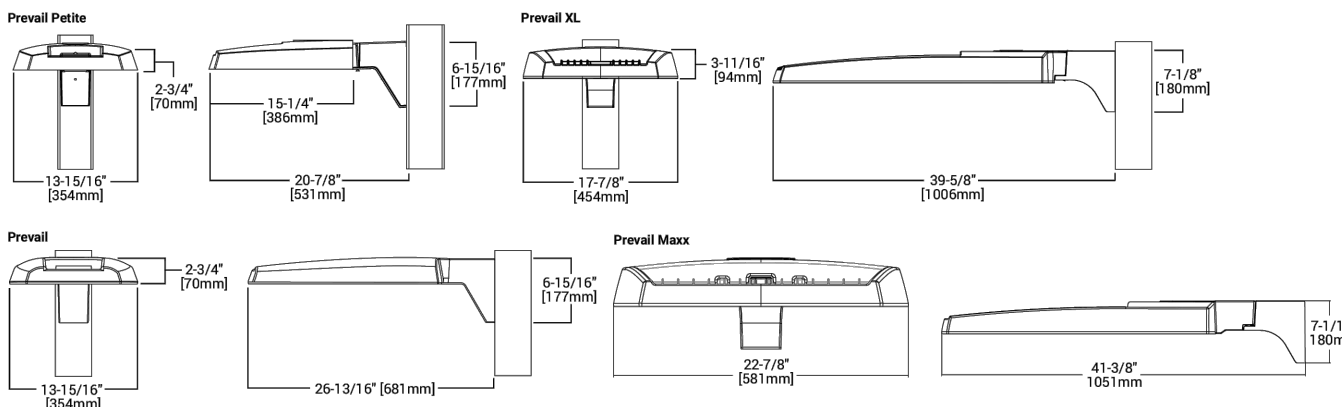
Connected Systems

- WaveLinx PRO Wireless
- WaveLinx LITE Wireless

Quick Facts

- Direct-mounted discrete light engine for improved optical uniformity and visual comfort
- Lumen packages range from 4,300 - 68,000 nominal lumens (30W - 550W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 157 lumens per watt
- Standard universal quick mount arm with universal drill pattern

Dimensional Details

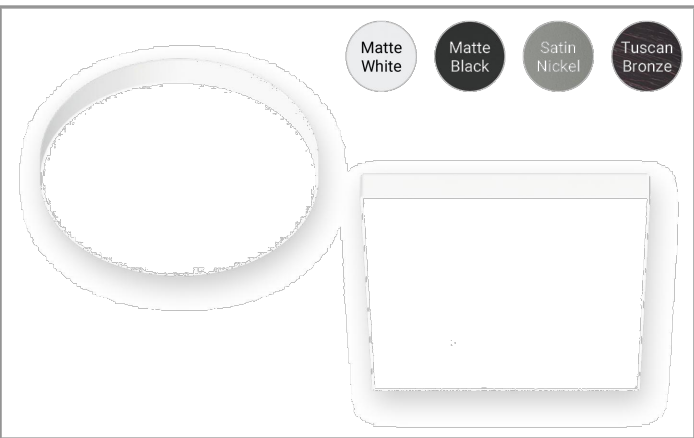


NOTES:
1. Visit <https://www.designlights.org/products> to confirm qualification. Not all product variations are DLC qualified.
2. DLC Certified for 3000K CCT and warmer only.



PSS00005EN page 1
June 5, 2024 6:54 PM

Project	Catalog #	Type
Prepared by	Notes	Date



HALO

SMX4 Edgless Surface Mount LED Downlight

The SMX series redefines the surface downlighting experience. With a fully luminous lens face, this series provides exceptional light quality with a sleek, edgless design that blends effortlessly into any ceiling. The SMX fixtures are engineered to offer a versatile downlighting solution with selectable lumens and color temperatures including dim-to-warm in flicker-free phase cut or 0-10V dimming options. The innovative mounting method ensures a hassle-free installation that seats the fixture securely against the ceiling in either junction boxes or recessed housings. Upgrade your lighting experience with the SMX series and enjoy a seamless blend of style and functionality.

Typical Applications

Residential

1. 0-10V versions coming soon

Interactive Menu

- Order Information page 2
- Product Specifications page 3
- Product Warranty

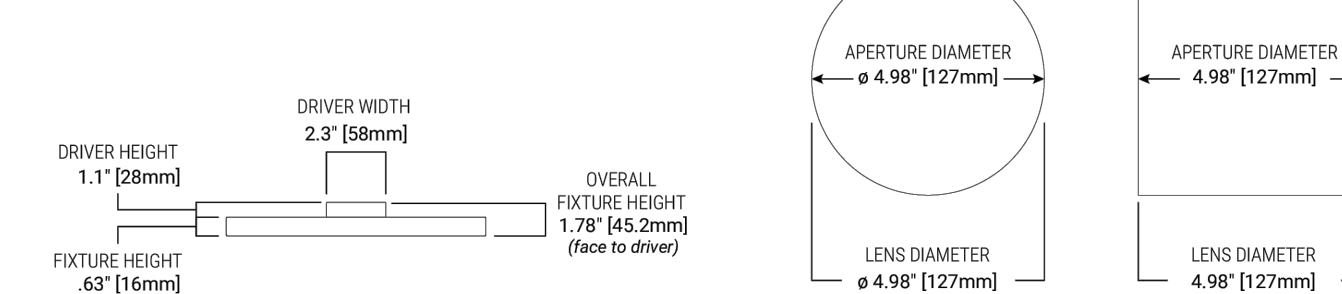


Phase Cut Square, 0-10V Round & Square Available July 2025

Top Product Features

- 4" Surface Mount Edgless Design
- Fully luminous edge-to-edge lens with no front face flange
- 6-Position Switch: 5-color Field-SelectTable (2700K, 3000K, 3500K, 4000K, 5000K) + Dim-to-Warm (3000K dims to 1800K); 90+ CRI
- Brightness: Lumen Select 650/800/1000 lm (nominal)
- Dimming: Dims to less than 5% (phase cut LE/TE) with compatible dimmers; 120V input
- Mounting hardware, orange LED Quick Connect and E26 adapter included
- Edgless Decorative Overlays (sold separately)
- AIR-TITE, wet location-listed, IC-rated, and ENERGY STAR® certified
- 50,000 hrs of maintenance-free operation
- 5-year warranty

Dimensional and Mounting Details



PSS1805224 page 1
March 5, 2025 9:02 PM



Catalog #: _____ Project: _____ Type: _____
Prepared By: _____ Date: _____

Scottsdale® Legacy (CRUS)

LED Canopy Luminaire



OVERVIEW	
Lumen Package (lm)	5,000 - 22,000
Wattage Range (W)	38 - 152
Efficacy Range (LPW)	114 -156
Weight lbs (kg)	23 (10.4)

QUICK LINKS

[Ordering Guide](#) [Performance](#) [Photometrics](#) [Dimensions](#)

FEATURES & SPECIFICATIONS

Construction

- Features a ultra-slim 11/16" profile die-cast housing, with flat clear or diffused tempered glass lens. Unit is water-resistant, sealed and IP66 rated. Integral designed heat sink does not trap dirt and grime, ensuring cool running performance over the life of the fixture.
- Standard color is white and is finished with LSI's DuraGrip® polyester powder coat process. DuraGrip withstands extreme weather changes without cracking or peeling.
- Luminaire assembly incorporates a pressure stabilizing vent breather to prevent seal fatigue and failure.

Optical System

- Features an array of select, mid-power, high brightness, high efficiency LED, 3000K, 4000K, 5000K color temperature, 80 CRI (nominal).
- Choice of Symmetric or Asymmetric distribution. Asymmetric provides a wider distribution pattern. Optional symmetric with diffused lens also available.
- Forward Throw distribution provides an industry leading unique distribution pattern that illuminates the area under the gas canopy and beyond. The forward through optic directs the light to the forecourt from the gas canopy eliminating the need for supplemental floodlights and extensive perimeter lighting.
- Diffuse lens available as an option to soften brightness of the luminaire.
- Six Lumen Packages: 5,000, 9,000, 10,000, 13,000, 18,000 and 22,000 Lumens.

Electrical

- High performance factory programmable driver features over-voltage, under voltage, short-circuit and over temperature protection with integral 6kV surge protection that meets IEEE C62.41.2 and ANSI C82.77-5 Location Category C Low standards. Additional field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2). Custom lumen and wattage packages available.
- Driver components are fully encased in potting for moisture resistance. Complies with IEC and FCC standards. 0-10 V dimming supplied standard with all drive currents.
- Die-cast aluminum, wet location rated driver/electrical enclosure is elevated above canopy deck to prevent water entry, provide easy "knock-out" connection of primary wiring and acts as the primary heatsink ensuring cool operation of internal components for longer life. Seals to optical housing via one-piece molded silicone gasket.
- Universal voltage power supply, 120-277 VAC, 50/60 HZ and 347-480 VAC, 50/60 HZ input.
- 40°C to 55°C (-40°F to 131°F) ambient operating temperature. (Varies based on lumen package and mounting style see performance data for specifics.)
- Minimum 60,000 to 100,000 hours depending upon the ambient temperature of the installation location (see performance data for specifics.)

Hazardous Location

- Designed for lighter than air fuel applications. Product is suitable for Class 1 Divisions 2 only when properly installed per LSI installation instructions. See Isicorp.com for specific guidance. Not available on SLW.

Installation

- One-person installation.
- Installs in a 12" or 16" deck pan. Deck penetration consists of a 4" hole, simplifying installation and water sealing. Unit is designed to quickly retrofit into existing Scottsdale (4") hole as well as openings for Encore and Encore Top Access and to reconnect wiring for the SC/ECTA without having to relocate the conduit.
- Retro panels are available for existing Encores as well as kits for recessed and 2x2 installations (see separate spec sheets). Support brackets are provided standard, to prevent sagging of deck.

Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.isicorp.com/resources/terms-conditions-warranty/> for more information.

Listings

- UL and ETL listed to UL 1598, UL 8750 and other U.S. and International safety standards. Suitable for wet locations.
- DesignLights Consortium™ (DLC) Premium qualified product. Not all versions of this product may be DLC Premium qualified. Please check the DLC Qualified Products List at www.designlights.org/GPL to confirm which versions are qualified.
- Meets Buy American Act requirements.
- IDA compliant with 3000K or lower color temperature.

LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • (513) 372-3200 • www.isicorp.com
©2024 LSI Industries Inc. All Rights Reserved. Specifications and dimensions subject to industry standard tolerances. Specifications subject to change without notice.

Page 1/5 Rev. 01/05/23
SPEC.1020.C.0123



Project: _____
Fixture Type: _____
Location: _____
Contact: _____

Cylinder

Wall Mounted • Damp Location Listed PROGRESS LED

Description:

5" LED up down wall cylinder - wall lantern in Black. The P5675 Series are ideal for a wide variety of interior and exterior applications including residential and commercial. The Cylinders feature a 120V alternating current source and eliminates the need for a traditional LED driver. This modular approach results in an encapsulated luminaire that unites performance, cost and safety benefits. Specify P860045 top cover lens for use in wet locations.

Specifications:

- Black finish
- Powder coat finish
- Die-cast aluminum construction with durable powder coated finish
- 795 lumens 46 lumens/watt per module (source)
- 3000K color temperature, 90+ CRI
- Meets California Title 24 high efficacy requirements for outdoor use only.
- Dimmable to 100% with many ELV dimmers
- Dimmable to 100% brightness (See Dimming Notes)
- Back plate covers a standard 4" recessed outlet box 4.5 in W, 4.5 in ht., 2.95 in depth
- Mounting strap for outlet box included
- 6 in of wire supplied

Performance:

Number of Modules	2
Input Power	17 W
Input Voltage	120 V
Input Frequency	60 Hz
Lumens/LPW (Down-Source)	795/46 (LM-82) per module
Lumens/LPW (Up-Source)	795/46 (LM-82) per module
Lumens/LPW (Source)	795/46 (LM-82)
Lumens/LPW (Delivered)	830/24.4 (LM-79)
CCT	3000 K
CRI	90 CRI
Life (hours)	60000 (L70/TM-21)
EMI/RFI	FCC Title 47, Part 15, Class B
Max. Operating Temp	30 °C
Warranty	5-year Limited Warranty
Labels	cCSAus Damp Location Listed

P5675-31/30K



Dimensions:

Width: 5 in
Height: 14 in
Depth: 8-7/8 in
H/CTR: 8 in



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

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MAINE No. 4248
VERMONT No. 01137
OHIO No. 25843

CHICK-FIL-A
AUBURN (ME)

65 MOUNT AUBURN AVE
AUBURN, ME, 04210

FSR#06109

BUILDING TYPE / SIZE: P14-SE-BASE
RELEASE: 24.11

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
14	10/6/25	PB COMMENTS

CONSULTANT PROJECT # MAA240488.00

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SHEET

LIGHTING NOTES

& DETAILS

SHEET NUMBER

ISSUED FOR PERMIT

L-202

October 6, 2025

City of Auburn
60 Court Street
Auburn, ME 04210

Attention: Natalie Thomsen

**RE: Planning Board Site Plan Review – Resubmittal
65 Mount Auburn Ave (Pad Site)
Map 280, Lot 6.1**

Dear Ms. Thomsen:

On behalf of our Client, Chick-fil-A, please find the following revised documents associated with the Planning Board Site Plan Review application for the proposed redevelopment at 65 Mount Auburn Ave.

As discussed during the public hearing on July 8th, 2025, a condition of approval was to work with the City Engineer regarding an additional sidewalk connection to Turner Street. Following that hearing, the Chick-fil-A team has looked at multiple layout options. In order to provide a walk connection, the drive-thru width would have been reduced to less than the prototypical width that Chick-fil-A requires. The plans being resubmitted to the Planning Board for approval include a new site layout along with an accessible sidewalk connection to Turner Street. We also shared the revised layout with David Hediger and Kristopher Bennett and received positive feedback on the revised layout.

Attached with this submittal packet are the revised documents prepared by Bohler and dated October 6th, 2025. The packet includes eleven (11) copies of the Plan Changes letter, eleven (11) copies of the site plan documents in 11x17 format and two (2) full size sets of the site plan documents. Below is a brief summary of the plan changes:

Building Size/Location:

The previous design included a square (SE) prototypical building footprint containing $\pm 5,189$ square feet. The new design includes a long building (LS) containing $\pm 5,394$ square feet. The building is now more centrally located within the pad area with the drive-thru wrapping around the building. The total number of interior seats increases by two (2) for a total of 92 seats.

Drive-thru Length:

The previous design had an overall drive-thru stacking length for both lanes of approximately ± 790 -feet. The new design allows for an overall drive-thru length for both lanes of ± 850 -feet. This results in approximately three (3) additional queue cars in the drive thru. The length from the order board to the site entrance will also remain similar, ± 165 -feet.

Pedestrian Connections:

The proposed pedestrian connection to the Hobby Lobby sidewalk will remain in the new layout design. The proposed pedestrian connection to the Turner Street sidewalk is now being shown. From the existing landing at Turner Street, we are proposing a concrete ramp with handrails from Turner Street to the site. Landings will be included along the route, and the design will allow for this to be an accessible walk. The sidewalk terminates near the existing parking stalls along this



stormwater basin, and a crosswalk will lead you to the new concrete sidewalk south of the proposed drive-thru. An additional crosswalk will lead you across the drive-thru and to the restaurant.

Parking:

The previous design included parking within immediate parcel/pad area and included 25 total parking spaces. Under the new design, the parking has been moved to just south of the drive-thru lane and opposite the existing parking along the internal ring road for the plaza. This aisle width is also being reduced from 30-feet to 25-feet. The total additional parking spaces being proposed under this layout is 16, however Chick-fil-A will have control of ± 80 additional parking spaces west of the site under their lease agreement.

The narrowing of the drive aisle will also act as a traffic-calming component as the width is being reduced along with parking located on both sides of the drive-aisle.

Utilities/Drainage:

Utilities are similar with gas, water and electric connecting to mains along the east side of the site location. Sewer will also still connect to the existing sewer stubs that have been provided.

Similar to the previous layout, stormwater generated from this project will continue to be collected via new catch-basins that convey stormwater to existing drainage stub locations in the southeast corner of the proposed pad area. The revised layout results in a $\pm 4,200$ square foot reduction in impervious coverage over the previous design.

Landscape/Lighting:

As noted above, the overall impervious coverage is being reduced which allows for additional landscaping to be provided throughout the project area. The overall site lighting fixture count will be reduced by one (1) light pole. Revised Landscape and lighting plans are also included in this site plan documents.

We look forward to discussing this project further with the Planning Board during the October 14th hearing. Please do not hesitate to contact us at (508) 480-9900 should you have any questions or wish to discuss them further.

Sincerely,

BOHLER ENGINEERING, MA LLC

Joey Fonseca



City of Auburn Comprehensive Plan Planning Board Update

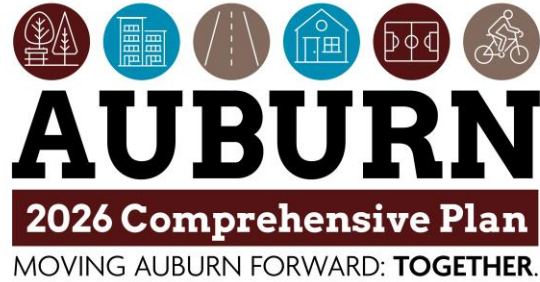
October 14, 2025



Agenda

- Project Team Introduction
- Project overview and timeline
- Project goals
- Inventory and Analysis
- Community Engagement
- Vision Statement
- Next Steps

Project Team



Comprehensive Plan Committee
City Staff



Consultant Team

Comprehensive Plan - Project Timeline



Phase 1: **Inventory and Analysis**

March – August 2025



Phase 2: **Public Engagement and Visioning**

March – August 2025



Phase 3: **Action Plan Development**

*September 2025 –
March 2026*



Phase 4: **Final Plan**

March – June 2026

Project Goals

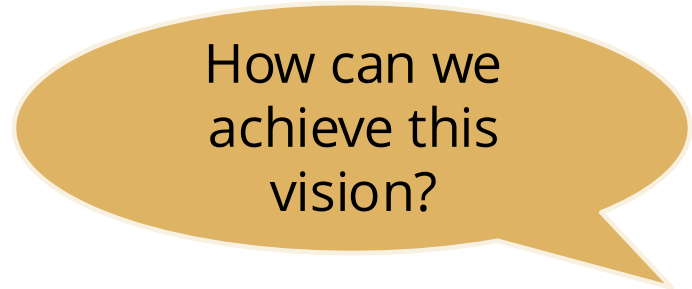
- Utilize a collaborative process to ensure a variety of community members are involved and that community groups are represented in the process.
- Develop a vision statement that is reflective of the community's needs, goals, and values
- Establish strategies that are achievable and that will help the City realize its vision over the next decade.
- Create a plan that provides clear guidance for implementation and that is accessible to the community.
- Ensure compliance with the Growth Management Act and receive State approval.



What is important to the community?



What is the collective vision?



How can we achieve this vision?

Inventory and Analysis

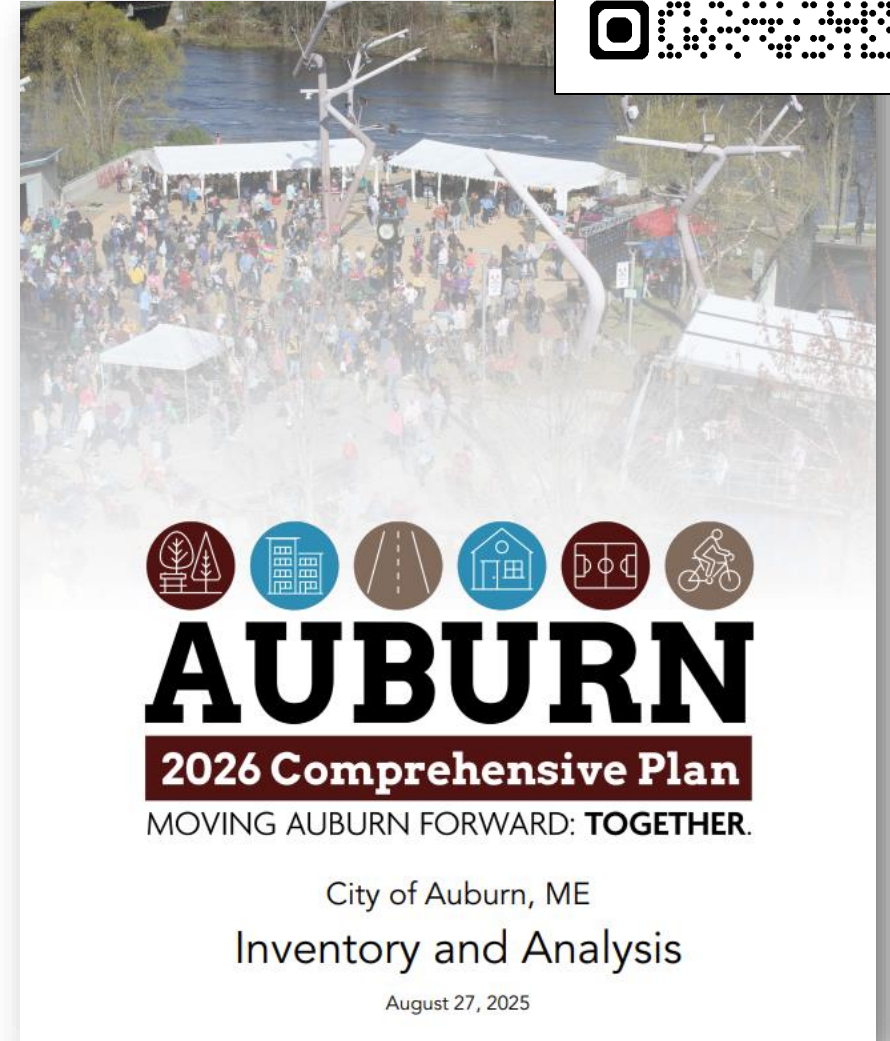
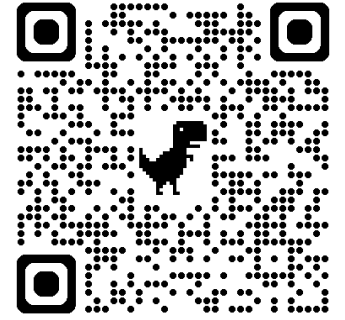
March – August 2025

Inventory of current conditions in Auburn across a variety of subject areas:

- Population and Demographics
- Water and Natural Resources
- Agriculture and Forestry
- Recreation
- Land Use
- Housing
- Economy
- Transportation
- Historic Resources
- Public and Community Services
- Fiscal Capacity

Sections were reviewed in subcommittees in May and June

View the full inventory
and StoryMap online!



Community Engagement – Social Pinpoint

1,800 engagements and inputs through September 17, 2025



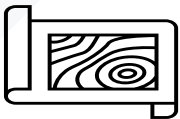
1,145

Website Visitors*



47

Email Signups



95

Ideas Wall Posts



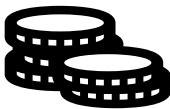
111

Map Posts



71

Polls and Surveys Completed



19

Budget Activities Completed

We want to hear from you!

[Share Your Ideas](#)[Map Your Ideas](#)[Enter the Photo Contest](#)[Email Updates](#)

[Open](#)[Embed](#)

Interactive Map

Use this interactive map to share your favorite places in Auburn, challenges you experience, or ideas you have to enhance Auburn in the future. Enter an address or click the "Add Map" button in the right corner and zoom into a location to get started.

101 contributions so far

Enter an address

How would you describe Auburn's identity in three words?

Tell us your idea

Screen name *

Enter user name

Moderation Policy



How would you describe Auburn's identity in three words?

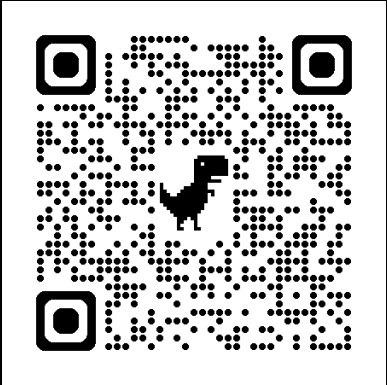
Tell us your idea

Screen name *

Enter user name

Moderation Policy

Visit the site!



*Excluded from engagements and inputs total

Community Engagement

1,800 engagements and inputs through September 17, 2025**



541

Community Survey Responses



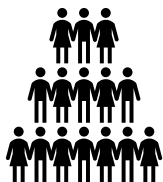
285

Middle School Survey Responses



143

High School Survey Responses



77

Focus Group Attendees



~ 45

Open House Visitors



358

Community Event Touchpoints*



*Includes farmers market, National Night Out, PAL Center Backpack Drive, Drop-In Center Listening Session, and Youth Forum

** Between a direct household mailing, fliers, post cards, social media posts, and direct invites for the focus group and open house events, the project team sent over 15,000 notifications to inform community members of the project

Draft Vision Statement – Vision and Guiding Principles

The vision outlines a desired future state for Auburn as the plan is implemented over the next decade.

Guiding principles provide a lens through which the plan’s components will be developed. Each principle should be reflected throughout the plan.

CITY OF AUBURN Comprehensive Plan: Draft Vision



Auburn is a resilient, connected, welcoming, and intentional community where everyone can thrive. Abundant and healthy farms, forests, lakes, and rivers surround Auburn’s vibrant neighborhoods and dynamic commercial, industrial, and mixed-use centers.

GUIDING PRINCIPLES

RESILIENT

Auburn adapts quickly to new issues and trends, meeting residents’ needs while enduring and evolving in the face of challenges.

CONNECTED

Auburn fosters community connection, engagement, and belonging through a strong network of neighborhoods, businesses, organizations, service providers, civic institutions, and recreational areas.

WELCOMING

Auburn is a friendly and hard-working city that is accessible and affordable to people at all phases of life. Residents know where they can go to connect with others, access services or businesses, and feel safe in the community.

INTENTIONAL

Auburn is a thoughtful, forward-thinking city that sets strategic goals and plans holistically for future growth and investments. Purposeful land use planning and community investment strengthen and solidify Auburn’s position in the region and state and establish a clear identity for the City.

Draft Vision Statement – Goals

The goals outline priority areas for the final plan to address. Policies, actions, and future land use plan will be structured around each goal.

GOALS



COMMUNITY

Foster a friendly and welcoming community where all community members feel connected, safe, and engaged.



HOUSING

Ensure access to a broad range of housing options that meet the needs of the community across income levels, ages, and life stages to support current and new residents and maintain a strong workforce.



ECONOMY

Support a resilient economy that provides quality jobs, fosters innovation, and strengthens local businesses and industries while providing quality education and training for people of all ages.



TRANSPORTATION

Develop a safe, efficient, and accessible multimodal transportation network and traffic management solutions that connect people to places throughout the City.



NATURAL ENVIRONMENT

Preserve and enhance the City's natural environment and agricultural tradition to protect water quality, improve food access, promote public health, provide connected wildlife habitats, and respond to the impacts of climate change.



PARKS AND RECREATION

Maintain and expand access to parks, trails, and recreational facilities that support social connection and active lifestyles for people of all ages and abilities.



INFRASTRUCTURE

Maintain existing infrastructure and plan strategic investments that prepare the City to respond to changing community needs and future challenges.



LAND USE

Promote thoughtful land use planning that balances fiscally and environmentally sustainable growth with support for Auburn's existing commercial centers, neighborhoods, and rural areas.

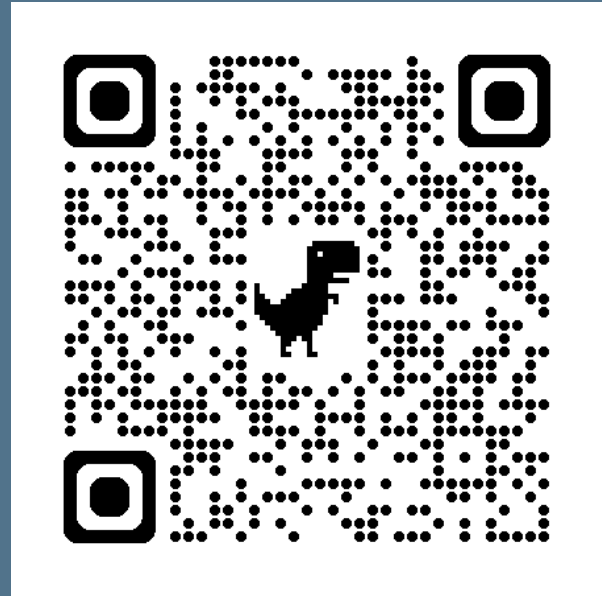
Next Steps

- Finalize draft vision statement
- Develop a draft Future Land Use Map, policies and actions (October – December 2025)
- Community Input on draft map, policies, and actions (January 2026)
- Finalize map, policies, and actions and develop final comprehensive plan (January – July 2026)

Future opportunities to participate:

- ✓ Online engagement on social pinpoint
- ✓ Future land use, policy, and action feedback in January
- ✓ Attend a Comprehensive Plan Committee Meeting

Visit the website!



[Tinyurl.com/plan-auburn](https://tinyurl.com/plan-auburn)

Questions and Discussion



City of Auburn, Maine
Office of Planning & Permitting
www.auburnmaine.gov | 60 Court Street
Auburn, Maine 04210 207.333.6601

To: Auburn Planning Board
From: David Hediger, Director of Planning
Re: Initiate an amendment to Chapter 60 of Auburn's Zoning Ordinance to allow for the development of lots under 20,000 square feet in specific instances.
Date: October 9, 2025

Staff is requesting that the Planning Board initiate an amendment to Chapter 60 of Auburn's Zoning Ordinance to allow for the development of lots under 20,000 square feet in specific instances.

Background

Under the current language, any unsewered lot under 20,000 square feet is not developable, even if it is a lawfully created lot of record predating zoning. If public sewer were available, such lots could be developed under Sec. 60-39, but because of Sec. 60-42, they are effectively prohibited from development.

Sec. 60-39 – Lot Area, Width, and Depth Exception:

The lot area (except as otherwise may be required), lot width, and lot depth requirements of this chapter shall not apply to any lot which was lawfully laid out in conformance with zoning regulations in effect at the time of lot creation and duly recorded by plan or deed.

This language suggests that the area, width, and depth requirements should not apply. However, the phrase "lot area (except as otherwise may be required)" implies that other sections of the code referencing lot area requirements may still need to be considered. Because of this, the following section applies:

Sec. 60-42 – Unsewered Lots:

The minimum lot sizes specified in this chapter for residential districts are for lots having sanitary sewer service. No unsewered lots having an area less than 20,000 square feet shall be developed for residential dwelling purposes. This regulation does not reduce lot size requirements in residential districts having larger minimum lot sizes.

This provision is inconsistent with the Maine State Plumbing Code, which allows for septic systems on lots smaller than 20,000 square feet under certain design and soil suitability conditions. As a result, Auburn's ordinance is more restrictive than necessary under state standards, inadvertently preventing infill development on existing legally nonconforming lots, particularly in older neighborhoods where many such lots exist.

Recommendation for Ordinance Amendment

Staff recommends that the ordinance be amended to align with the Maine Plumbing Code while ensuring protection of Auburn's critical water resources, especially within the Lake Auburn and Taylor Pond watersheds. At this time, staff believes the amendment should include, but may not be limited to:

1. Maintaining the prohibition on creating new undersized lots.
2. Allowing development of existing, legally created lots of record smaller than 20,000 square feet if:
 - a. The lot can support a subsurface wastewater disposal system meeting all applicable Maine Plumbing Code standards;
 - b. The lot meets minimum setback and buffer requirements; and
 - c. In watershed protection areas (e.g., Lake Auburn, Taylor Pond), additional review is conducted to ensure no adverse environmental impacts to water quality.

Planning Board Action

Pursuant to Sec. 60-1445, amendments to the zoning ordinance may be initiated by the Planning Board on its own initiative. This amendment would bring Auburn's ordinance into alignment with the Maine Plumbing Code, enable reasonable infill development on legally nonconforming lots, and protect critical watershed areas.

Staff Recommendation

Staff recommends the Board initiate an amendment for the Planning Board and City Council's consideration.

Suggested Motion:

I make a motion, pursuant to Sec. 60-1445, that staff be directed to prepare an amendment to Sec. 60-39, Sec. 60-42, and other applicable sections as deemed necessary to align Auburn's ordinance with the Maine Plumbing Code; enable reasonable infill development on legally nonconforming lots; and, protect critical watershed areas.